



THE MUNICIPALITY OF CENTRAL ELGIN

MINOR VARIANCE/PERMISSION APPLICATION

Form MVA-1/2014

REQUIREMENTS FOR A COMPLETE APPLICATION:

Note: Until the Municipality of Central Elgin has received the information and material requested herein (as required under subsection 2 of Ontario Regulation 200/96) and any fee under Section 69(1) of the Planning Act, the application will be deemed incomplete and the time periods referred to in section 45(4) of the Act will not begin. Please ensure your submission includes:

OFFICE USE ONLY
Date Stamp - Date Received:
Fee Paid: [X] Yes [ ] No

- The completed application form and declarations.
1 digital copy of sketch/plan showing EXISTING and PROPOSED building(s) and structure(s) on subject lands, where applicable.
Application Fee made payable to "The Municipality of Central Elgin". Application Fee Amount: \$ 553.75
A Letter of Authorization from the Owner (with dated, original signature) OR completion of the Owner's Authorization on page 7, if the Owner is not filing the application.
Other information identified through Pre-consultation.

PLEASE LIST THE REPORTS OR STUDIES THAT ACCOMPANY THIS APPLICATION (supply two copies of each):

Note: This section applies to all reports that may have been identified as a result of any pre-application consultation meeting as studies required for a complete application.

Letter 24-12-20 - Baigent Excavating (Septic Systems)

About Pre-Consultation

Prior to submitting this application for a Minor Variance to the Municipality of Central Elgin, a proponent is encouraged to consult with relevant staff. Pre-application consultation is intended to facilitate early discussions between the proponent and staff pertaining to the application, and to allow staff to assist in determining the specific reports, studies and information that may be required to be submitted together with the application form as part of a complete application.

THIS APPLICATION PACKAGE MUST BE SUBMITTED TO:

Central Elgin Planning Office
9 Mondamin Street, St. Thomas, Ontario N5P 2T9
Telephone: 519-633-2560
Facsimile: 519-633-6581
or
Municipality of Central Elgin
450 Sunset Drive, St. Thomas, Ontario N5R 5V1
Telephone: 519-631-4860
Facsimile: 519-631-4036

Personal information is collected under the authority of the Planning Act and will be used only for the purposes of considering and reviewing your application.



THE MUNICIPALITY OF CENTRAL ELGIN

MINOR VARIANCE/PERMISSION APPLICATION

I/We hereby apply, as outlined in this application, to the Council of the Corporation of the Municipality of Central Elgin pursuant to the provisions of the Planning Act, for a Minor Variance/Permission under Section 45 of the *Planning Act*.

1. Name of applicant: Habib John Harfoush, Sandra Harfoush  
Address: 46117 New Sarum Line  
Telephone (home): 4166714087 (business) \_\_\_\_\_  
E-Mail: \_\_\_\_\_
  
2. Is the applicant the owner of the land?  Yes  No If no, please provide:  
Name of owner: N/A  
Address: N/A  
Telephone (home): N/A (business) N/A  
E-Mail: N/A
  
3. When was the subject land acquired by the current owner? 2022
  
4. Name of Agent (if any): N/A  
Address: N/A  
Telephone: (home): N/A (business) N/A  
E-Mail: N/A
  
5. Location of Property ("subject lands"):  
Registered Plan No.: \_\_\_\_\_ Lot No.(s): \_\_\_\_\_  
Concession No.: 8 Lot No.(s): North Part Lot 20  
Reference Plan No.: \_\_\_\_\_ Part No.(s): \_\_\_\_\_  
Municipal Address: 46117 New Sarum Line
  
6. Municipality of Central Elgin Official Plan:  
Designation of the subject lands: Residential
  
7. Current applicable Zoning By-law: Township of Yarmouth Zoning By-Law # 1998  
Current applicable zone: R1 Zone

8. What is the present use(s) of the subject lands? Residential, existing single detached dwelling and a detached garage.

How long has this use(s) continued on the subject lands? Approximately 1976

9. What is the proposed use of the subject lands? Convert existing detached garage into one (1) additional residential unit (ARU).

10. Nature and extent of relief from the zoning by-law: \_\_\_\_\_  
(1) Permit one additional residential unit (ARU) in the existing detached garage to be serviced with a private septic system.  
(2) Permit one additional residential unit (ARU) in the existing detached garage that exceeds 4m in height.

Reason(s) why the proposed use cannot comply with the provisions of the zoning by-law: \_\_\_\_\_  
(1) Municipal sanitary supply system not available.  
(2) The detached garage and building height are existing.

11. Dimensions of the subject lands:  
Frontage (m): 52.59 on New Sarum Line Street/Road/Highway  
Depth (m): Irregular  
Area (m<sup>2</sup>): 4,208.73

12. Access to the subject lands is provided by:  
 A Provincial highway or municipal road that is maintained year-round or other public road;  
 A right of way; or  
 By water (Please provide a description of the parking/docking facilities to be used and the approximate distance of these facilities from the subject lands and the nearest public road):  
\_\_\_\_\_  
\_\_\_\_\_

13. Particulars of all existing and proposed structures on the subject lands (as applicable - add additional pages if necessary):

<u>EXISTING</u>	<u>BUILDING 1</u>	<u>BUILDING 2</u>	<u>BUILDING 3</u>
Building type:	<u>See Attached</u>		
Length (m):	_____		
Width (m):	_____		
Height (m):	_____		
No. of storeys:	_____		
Ground floor area (m <sup>2</sup> ):	_____		
Gross floor area (m <sup>2</sup> ):	_____		
Parking area (m <sup>2</sup> ):	_____		
Setback, front lot line (m):	_____		
Setback, rear lot line (m):	_____		
Setback, side lot line (m):	_____		
Setback, side lot line (m):	_____		
Date constructed:	_____		



PROPOSED

BUILDING 1

BUILDING 2

BUILDING 3

Building type: See Attached Plans

Length (m): \_\_\_\_\_

Width (m): \_\_\_\_\_

Height (m): \_\_\_\_\_

No. of storeys: \_\_\_\_\_

Ground floor area (m<sup>2</sup>): \_\_\_\_\_

Gross floor area (m<sup>2</sup>): \_\_\_\_\_

Parking area (m<sup>2</sup>): \_\_\_\_\_

Setback, front lot line (m): \_\_\_\_\_

Setback, rear lot line (m): \_\_\_\_\_

Setback, side lot line (m): \_\_\_\_\_

Setback, side lot line (m): \_\_\_\_\_

14. Potable water will be supplied to the subject lands through:
- Publicly owned and operated piped water system.
  - Privately owned and operated individual or communal well.
  - Lake or other water body.
  - Other means. Explain: \_\_\_\_\_

15. Sewage disposal will be supplied to the subject lands through:
- Publicly owned and operated sanitary sewage system.
  - Privately owned and operated individual or communal septic system.
  - A privy.
  - Other means. Explain: \_\_\_\_\_

16. Storm drainage will be supplied to the subject lands through:
- Publicly owned and operated storm sewer system.
  - Privately owned and operated storm sewer system.
  - Ditches and swales.
  - Other means. Explain: \_\_\_\_\_

17. Has the subject lands ever been the subject of any of the following matters under the Planning Act:
- (a) For approval of a plan of subdivision under Section 51.  Yes  No  
 File No.: \_\_\_\_\_ Status: \_\_\_\_\_
- (b) For approval of a consent under Section 53.  Yes  No  
 File No.: \_\_\_\_\_ Status: \_\_\_\_\_
- (c) For approval of minor variance/permission under Section 45.  Yes  No  
 File No.: \_\_\_\_\_ Status: \_\_\_\_\_

18. This application must be accompanied by a digital sketch, in metric, showing as applicable:
- ✓ The boundaries and dimensions of the subject lands;
  - ✓ The location, size and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line and side lot lines;
  - ✓ The approximate location of all natural and artificial features (i.e. buildings, railways, roads, watercourses, drainage ditches, rivers or streams, wetlands, wooded areas, wells and septic tanks) that,
    - (i) are located on the subject land and on land that is adjacent to it; and
    - (ii) in the applicant's opinion, may affect the application.
  - ✓ The current uses of land that is adjacent to the subject land; (continued on next page)



- ✓ The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right of way;
- ✓ If access to the subject lands will be by water only, the location of the parking and docking facilities to be used; and
- ✓ The location and nature of any easement affecting the subject land.

19. This application must be filed with the **Central Elgin Planning Office, 9 Mondamin Street, St. Thomas, Ontario, N5P 2T9** or with the **Municipality of Central Elgin, 450 Sunset Drive, St. Thomas, Ontario, N5R 5V1**, and must be accompanied by the application fee of **\$534.50**.

**PLEASE MAKE CHEQUES PAYABLE TO "THE MUNICIPALITY OF CENTRAL ELGIN"**

**DECLARATION:**

I,        Habib Harfoush        of        New Sarum        do solemnly declare that all above statements contained in all of the exhibits transmitted herewith are true, and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the  
 Property address of        Habib & Sandra Harfoush        In the County of        Central  
 Elgin         
 this    28         
 day of        January 2025        A.D.    2025

*John Harfoush*  
 \_\_\_\_\_  
 Signature of Owner or Authorized Agent

*[Signature]*  
 \_\_\_\_\_  
 A Commissioner, etc.

**DELANY LYNN LEITCH, Deputy Clerk  
 for The Corporation of the Municipality  
 of Central Elgin. A Commissioner for  
 taking Affidavits in the County of Elgin  
 in the Province of Ontario.**

**OWNER'S AUTHORIZATION:**

**THIS MUST BE COMPLETED BY THE OWNER IF THE OWNER IS NOT FILING THE APPLICATION**

**Note: If there are multiple Owners, an authorization letter from each Owner (with dated, original signature) is required OR each Owner must sign the following authorization.**

I, (we) Habib & Sandra Harfoush, being the Applicant(s) and/or registered Owner(s) of the subject lands, hereby authorize Habib John Harfoush to prepare and submit an Application for a Minor Variance.

John Harfoush  
Signature

28-Jan-2025

Day

Month

Year

---

---

**Municipal Freedom of Information Declaration:**

In accordance with the provisions of the Planning Act, it is the policy of the Municipality of Central Elgin to provide public access to all development applications and supporting documentation.

In submitting this development application and supporting documentation, I Habib John Harfoush (please print name) the  Owner  Applicant  Authorized Agent, hereby acknowledge the above-noted policy and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

I hereby authorize the Municipality of Central Elgin to post a "Possible Land Use Change" sign and allow municipal staff to access to the subject lands for purposes of evaluation of the subject application.

John Harfoush  
Signature

28-Jan-2025

Day

Month

Year





46117 New Sarum



173.38 ft front

267.08 ft east

252.01 ft west

103.53+34.67+.34.68 ft rear backing on HWY 3

Accessory

Structure 15 Feet from property line.

Main Dwelling 42 feet from west, 65 feet from front 55 feet from east

Perimeter

866 ft

Area

4,105.84 m<sup>2</sup>



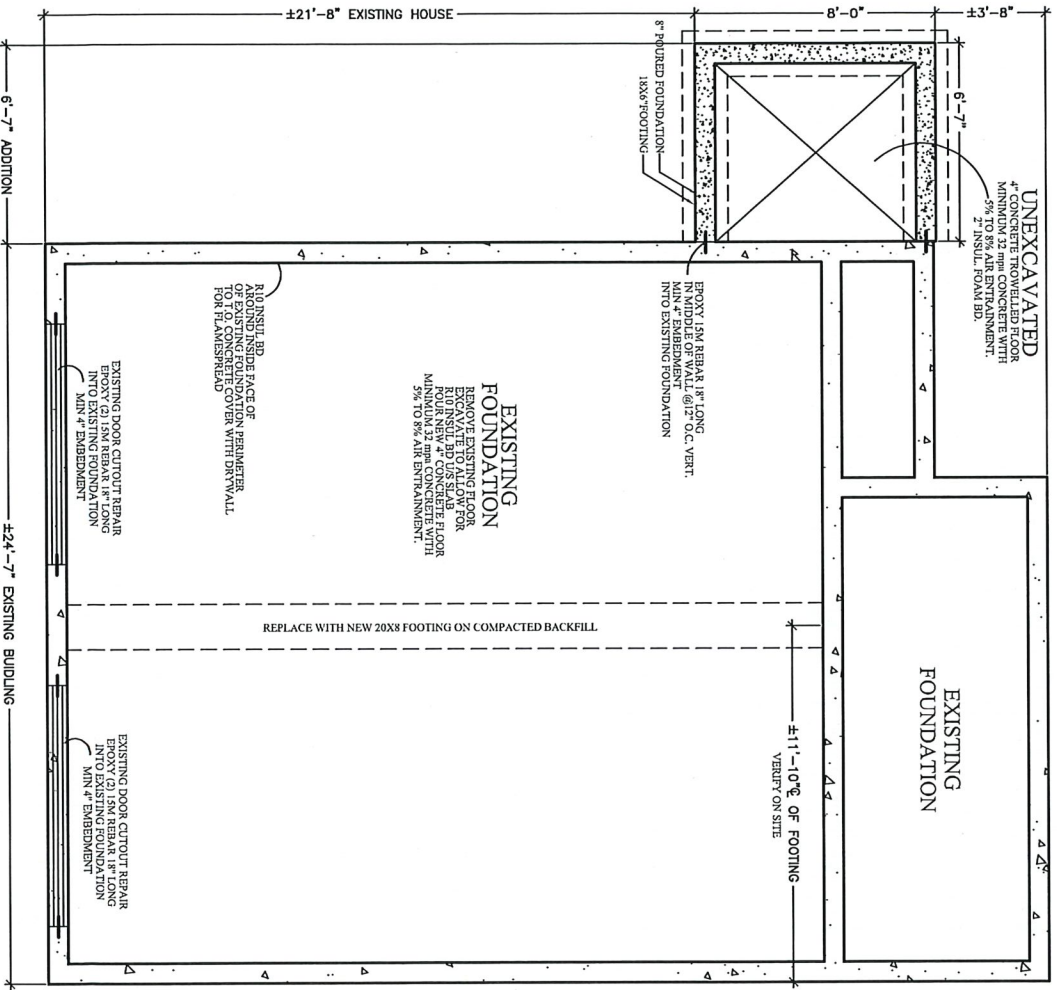
Edit





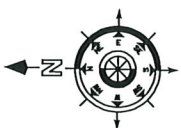
# FOUNDATION PLAN

Scale 1/4" = 1'-0"



## GENERAL NOTES

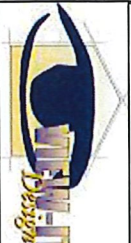
1. ALL DIMENSIONS TO EXTERIOR FOUNDATION WALLS UNLESS NOTED OTHERWISE.
2. EXISTING FOUNDATION SHALL BE REINFORCED WITH 2" x 2" x 1/2" REBAR.
3. APPROXIMATE QUANTITIES ARE SHOWN IN THIS PLAN. APPROXIMATE QUANTITIES SHALL BE AS SHOWN AND APPROXIMATE QUANTITIES SHALL BE AS SHOWN.
4. ALL EXTERIOR FOOTINGS SHALL BE ANCHORED TO EXISTING FOUNDATION.
5. CONCRETE FOR FLOOR SLABS SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL BE CURING PROTECTED FOR 7 DAYS.
6. REINFORCING STEEL TO HAVE MINIMUM 1/2" COVER, MAXIMUM 2" COVER AT BOTTOM OF SLAB.



Professional seal and stamp for the design engineer. The seal and stamp shall be placed on the right side of the drawing, below the title block. The seal and stamp shall be in accordance with the requirements of the Professional Engineers Act, R.S.O. 1990, Chapter 190.

NO.	DATE	DESCRIPTION
1	11/27	PRELIMINARY
2	1/25	CLIENT REVISIONS
3	1/25	CLIENT REVISIONS
4	1/25	PLAN EXAMINER COMMENTS

NO.	DATE	DESCRIPTION
1	11/27	PRELIMINARY
2	1/25	CLIENT REVISIONS
3	1/25	CLIENT REVISIONS
4	1/25	PLAN EXAMINER COMMENTS



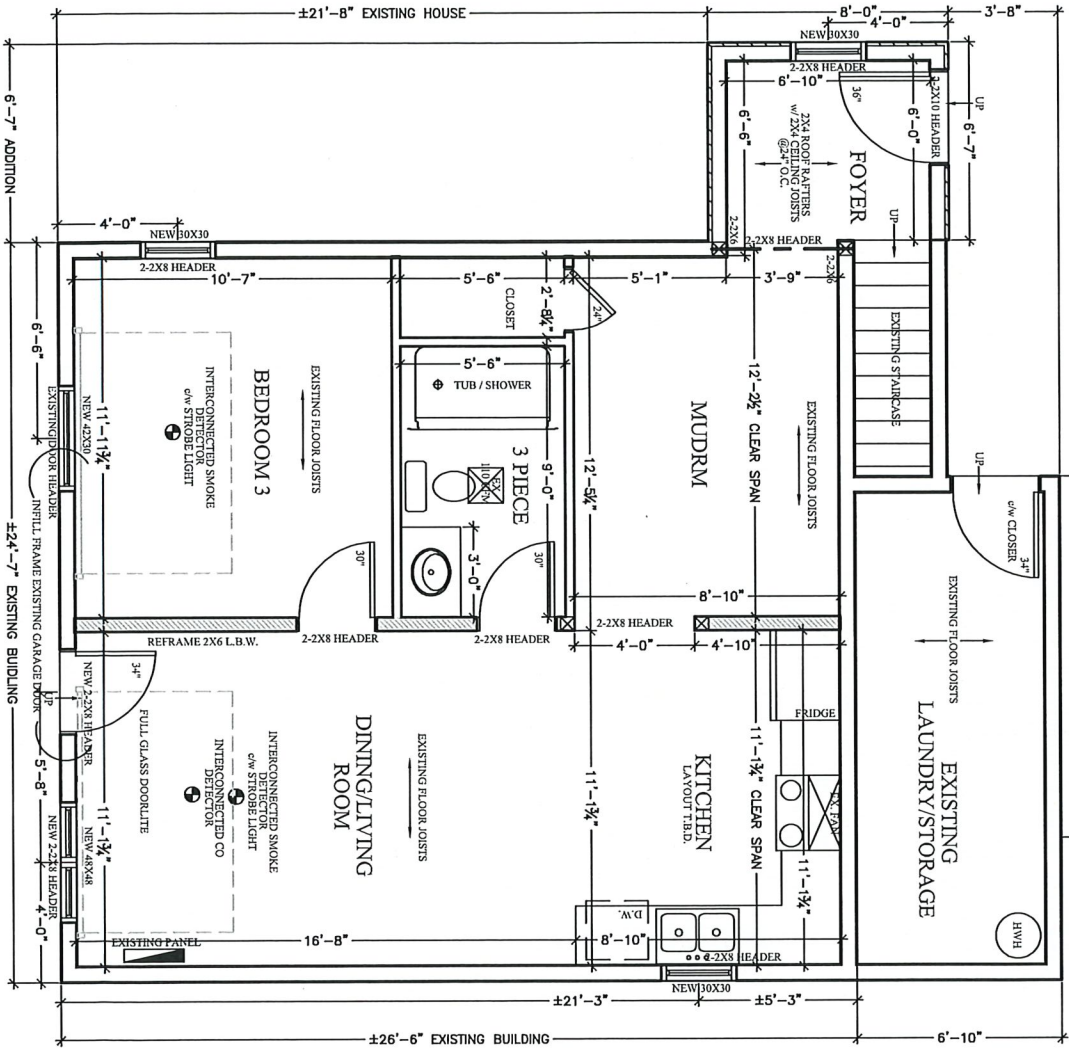
**VIEW-IT DESIGN**  
 4617 NEW SARUM LINE  
 CENTRAL ELDON, ONT.  
 M5C 1S6  
 TEL: (905) 881-1149

**HARFOUSH RES**  
 4617 NEW SARUM LINE  
 CENTRAL ELDON, ONT.  
 PROPOSED ADDITIONAL BUILDING RENO

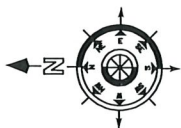
FOUNDATION PLAN  
 DRAWN BY: TONY WALL  
 DATE: JANUARY 2025  
 SCALE: SEE DWG  
 SHEET NO. 1 OF 1

# REMODELED MAIN FLOOR PLAN

Scale 1/4" = 1'-0"

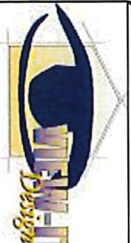


GENERAL NOTES:



1. All work shall be in accordance with the Building Code of the City of Reno, Nevada. All work shall be in accordance with the Building Code of the State of Nevada. All work shall be in accordance with the Building Code of the State of Nevada. All work shall be in accordance with the Building Code of the State of Nevada.

NO.	DATE	DESCRIPTION
1	1/21/23	PRELIMINARY
2	1/21/23	CLIENT REVISIONS
3	1/21/23	CLIENT REVISIONS
4	1/21/23	FINAL EXAMINER COMMENTS

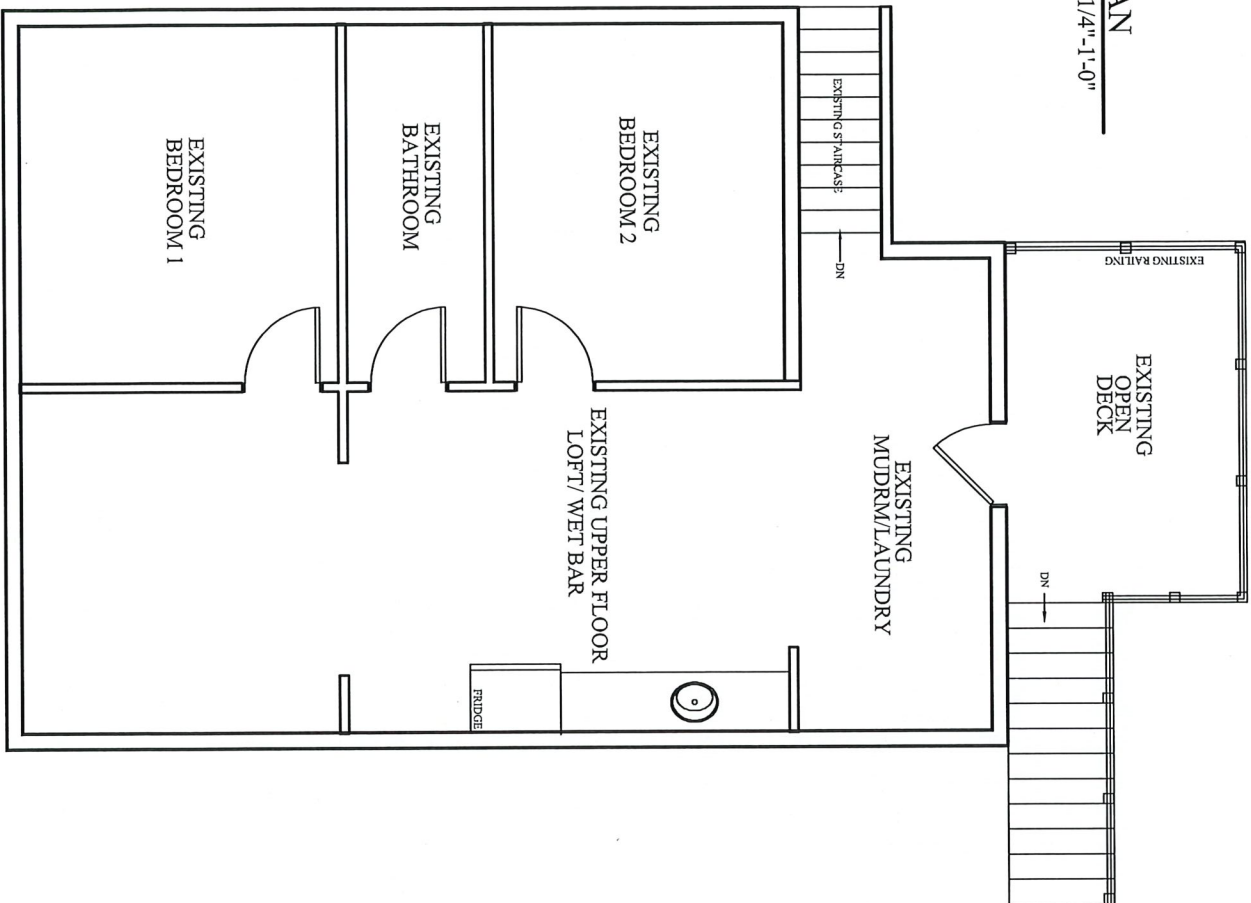


\*PROPERTY OF VIEW-IT DESIGN\*  
 VIEW-IT DESIGN  
 46117 NEW SARAJA LINE  
 CENTRAL, ELGIN, NV  
 795.734.8888  
 www.view-itdesign.com

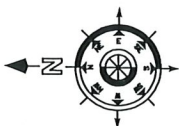
HARFOUSH RES  
 46117 NEW SARAJA LINE  
 CENTRAL, ELGIN, NV  
 PROPOSED AUXILIARY BUILDING RENO  
 REMODELED MAIN FLOOR PLAN  
 DRAWN BY: TONY WALL  
 DATE: JANUARY 2023  
 SCALE: 3/8" = 1'-0"  
 SHEET NO. 2013

# EXISTING UPPER FLOOR PLAN

Scale 1/4"=1'-0"



GENERAL NOTES:



I prepare and take responsibility for the design work on behalf of a firm registered under regulations 217A, 217B and 217C of the Architects Act 1997, and for the design work on behalf of the firm registered under regulations 217A, 217B and 217C of the Architects Act 1997.

View-T Design  
 46117 New Sargum Lane  
 Central, FL 32810  
 Tel: 813-973-2502

NO.	DATE	DESCRIPTION	SQUARE FOOTAGE
1	01/20/23	PROPOSED UPPER FLOOR PLAN	979 SQ FT
2	01/20/23	CLIENT REVISIONS	1313 SQ FT
3	01/21/23	CLIENT REVISIONS	1313 SQ FT
4	01/22/23	CLIENT REVISIONS	1313 SQ FT

NO.	DATE	DESCRIPTION
1	01/20/23	PROPOSED UPPER FLOOR PLAN
2	01/20/23	CLIENT REVISIONS
3	01/21/23	CLIENT REVISIONS
4	01/22/23	CLIENT REVISIONS



PROPERTY OF VIEW-T DESIGN

VIEW-T DESIGN  
 46117 NEW SARGUM LANE  
 CENTRAL, FL 32810  
 TEL: 813-973-2502

HARFOUSH RES  
 46117 NEW SARGUM LANE  
 CENTRAL, FL 32810

PROPOSED AUXILIARY BUILDING RENO

EXISTING UPPER FLOOR PLAN

DRAWN BY: TONY WALL SCALE: 1/4"=1'-0"

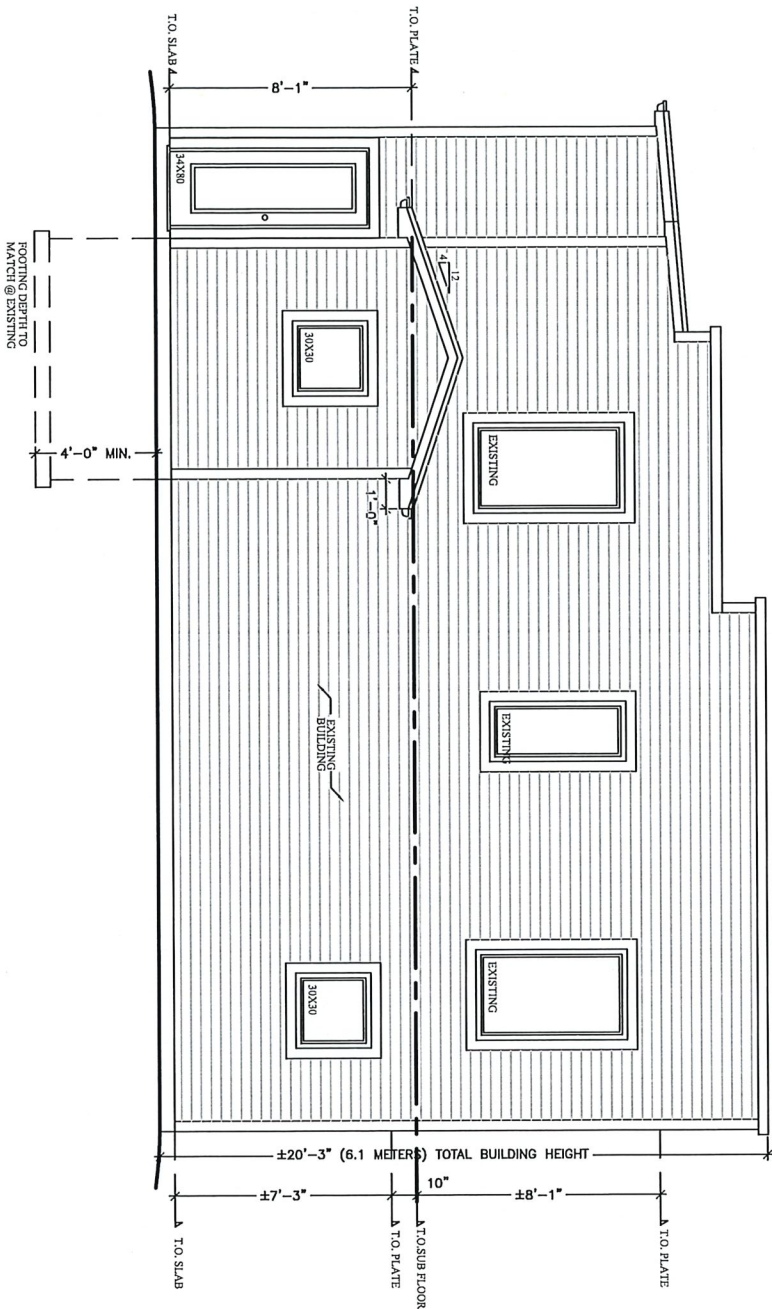
DATE: JANUARY 2023

SHEET NO. 3 OF 8



# EAST ELEVATION

Scale 1/4"=1'-0"



GENERAL NOTES:

I hereby make this responsibility for the design work on behalf of the registered professional engineer, architect, landscape architect, interior designer, or other registered professional, and the date of this agreement is the approval date of the design.

DATE: 01/20/2023

PROPOSED MAINTENANCE	7% SQ.FT.
MAINTENANCE	1% SQ.FT.
EXISTING UPPER FLOOR	7% SQ.FT.

NO. OF	DESCRIPTION
4	PLAN EXAMINER COMMENTS
3	CLIENT REVISIONS
2	CLIENT REVISIONS
1	PRELIMINARY



PROPERTY OF VIEW-IT DESIGN

VIEW-IT DESIGN  
 888 FORT BIRWELL  
 FORT WORTH, TEXAS 76104

HARPOUSH RES  
 46117 NEW SARKIN LINE  
 CENTRAL, TEXAS 76010

PROPOSED AUXILIARY BUILDING RENO

ELEVATIONS

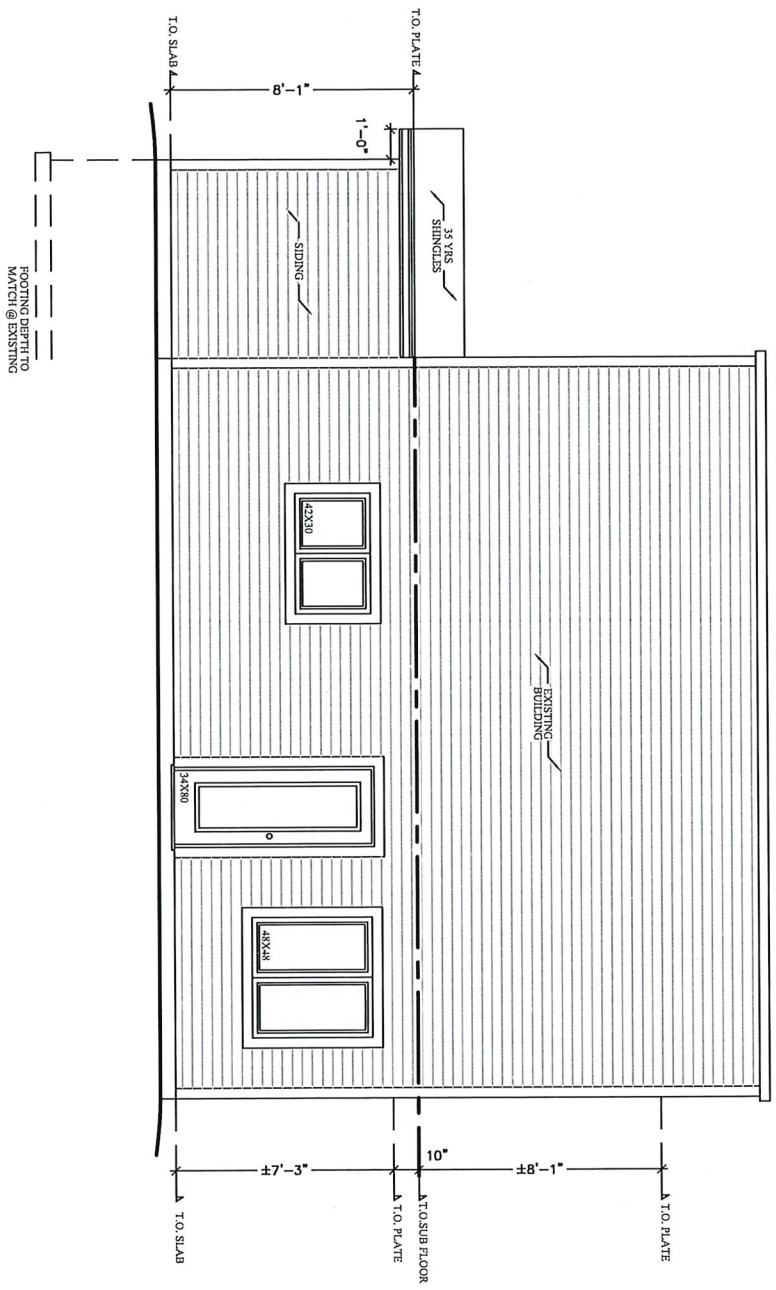
DRAWN BY: TONY WALL SCALE: SEE DWG  
 DESIGNED BY: TONY WALL  
 DATE: JANUARY 2023

SHEET NO. 4 OF 8

A4

# NORTH ELEVATION

Scale 1/4"=1'-0"



FOOTING DEPTH TO MATCH @ EXISTING

## GENERAL NOTES

1. Refer and take responsibility for the design work on behalf of the firm retaining under Ordinance 217.6 of the O.C.D.C. laws, penalties, and the firm is not responsible for the approval of the design work.

DATE: 01/20/23  
 DRAWN BY: TONY WALL  
 PROJ: 2023

PROPOSED MAIN FLOOR	79.9 SQ FT
PROPOSED UPPER FLOOR	79.9 SQ FT
TOTAL PROPOSED FLOOR AREA	159.8 SQ FT

REV.	DATE	DESCRIPTION
1	01/20/23	PLAN EXAMINER COMMENTS
2	01/20/23	CLIENT REVISIONS
3	01/20/23	CLIENT REVISIONS
4	01/20/23	CLIENT REVISIONS



VIEW-IT DESIGN  
 1001 E. 10TH AVE. SUITE 100  
 DENVER, CO 80202

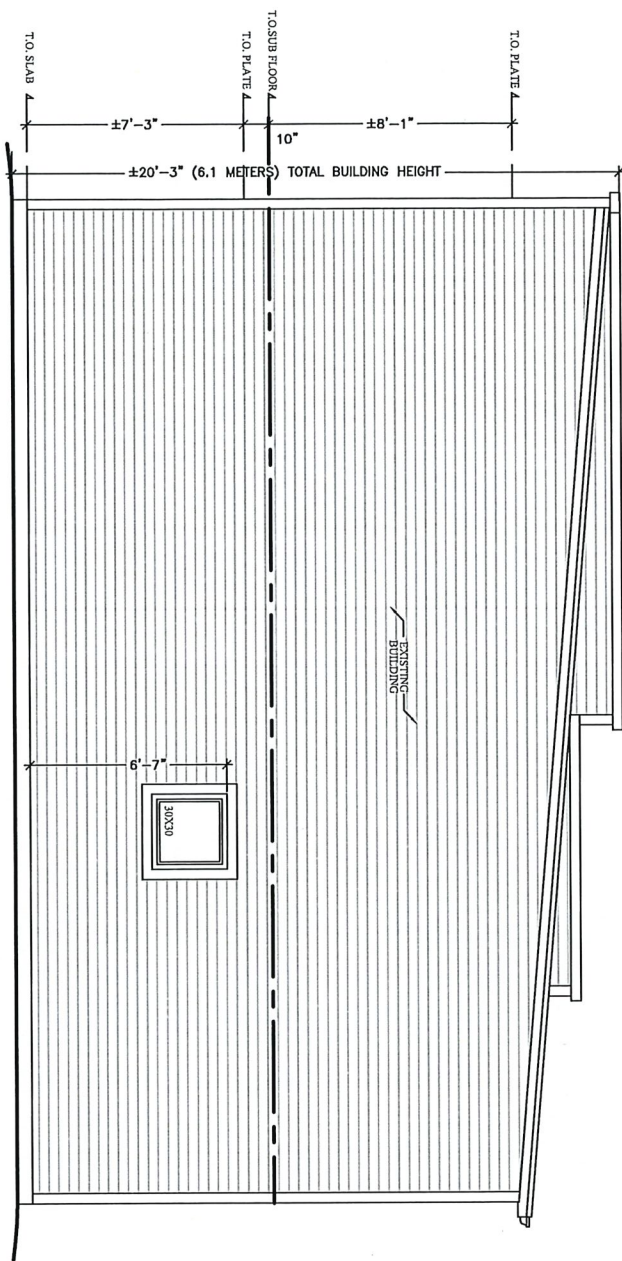
HARPOUSH RES  
 4617 NEW SARALIN LANE  
 CENTRAL, EGIN, ONT

PROPOSED AUXILIARY BUILDING RENO  
 ELEVATIONS  
 SCALE: SEE DWG  
 SHEET NO. 107B

A5

# WEST ELEVATION

Scale 1/4" = 1'-0"



GENERAL NOTES

I hereby make this responsibility for the design work on behalf of the registrant under subsection 217.6 of the O.R.C. I am qualified, and the plan is prepared in the appropriate design category.

\_\_\_\_\_  
 Date: 01/20/2023  
 Title: Architect

PROPOSED MAIN FLOOR	776 SQ FT
EXISTING MAIN FLOOR	115 SQ FT
PROPOSED UPPER FLOOR	776 SQ FT

REV.	DATE	DESCRIPTION
4	01-20-23	PLAN EXAMINER COMMENTS
3	12-13-22	CLIENT REVISIONS
2	10-25-22	CLIENT REVISIONS
1	11-02-22	PERMIT ISSUE



• PROPERTY OF VIEW-IT DESIGN •

VIEW-IT DESIGN  
 888 FORT BIRWELL  
 FAYETTEVILLE, NC 28404

HARFOUSH RES  
 4617 NEW SARAJIN LANE  
 CENTRAL, ELDON, ONT

PROPOSED AUXILIARY BUILDING RENOVATION

ELEVATIONS

DRAWN BY: TONY WALL  
 DESIGNED BY: TONY WALL  
 DATE: JANUARY 2023

SCALE: SEE DWG

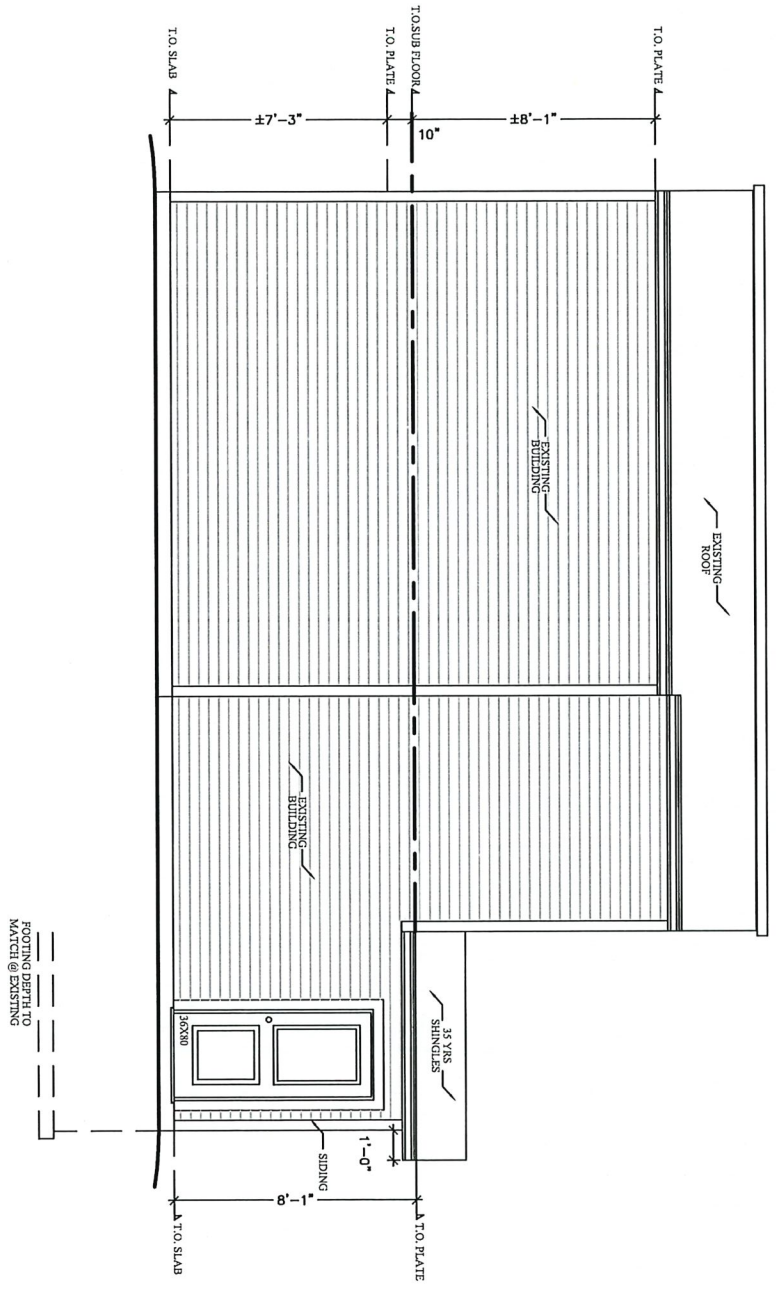
SHEET NO. 4 OF 8

A6



# SOUTH ELEVATION

Scale 1/4" = 1'-0"



**GENERAL NOTES**

1. The owner and their representative shall be responsible for the design and construction of the building and shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect shall be responsible for the design and construction of the building and shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

2. The architect shall be responsible for the design and construction of the building and shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

3. The architect shall be responsible for the design and construction of the building and shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

4. The architect shall be responsible for the design and construction of the building and shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

5. The architect shall be responsible for the design and construction of the building and shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

NO.	DESCRIPTION	QUANTITY	UNIT
1	REMODELLED MAIN FLOOR	1	SQ. FT.
2	MAIN FLOOR ADDITION	1	SQ. FT.
3	EXISTING UPPER FLOOR	1	SQ. FT.

NO.	DESCRIPTION	QUANTITY	UNIT
1	PLAN EXAMINER COMMENTS	1	SQ. FT.
2	CLIENT REVISIONS	1	SQ. FT.
3	PERMIT INSUR	1	SQ. FT.



**\*PROPERTY OF VIEW-IT DESIGN\***

**VIEW-IT DESIGN**  
 884 FORT BURWELL  
 MISSISSAUGA, ONTARIO  
 M5S 1K7

**HARFOUSH RES**  
 4617 NEW SARUM LINE  
 CENTRAL BLDG. ONT

**PROPOSED AUXILIARY BUILDING RENO**

**ELEVATIONS**

**DESIGNED BY: TONY WALL**  
 DRAWN BY: TONY WALL  
 DATE: JANUARY 2023  
 SCALE: SEE DWG

**SHEET NO. 7 OF 7**

### GENERAL NOTES:

CONTRACTOR SHALL REVIEW THE DESIGN DRAWINGS AND REPORT ANY ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK OF THE CONTRACT. PROCEEDING WITHOUT NOTIFICATION, OR IF CHANGES ARE MADE WITHOUT THE APPROVAL OF THE DESIGNER, WILL VOID ALL RESPONSIBILITY AND LIABILITY OF THE DESIGNER.

THE GENERAL CONTRACTOR SHALL PROVIDE MECHANICAL DRAWINGS FOR HEATING & AIR CONDITIONING SYSTEM AND HEAT LOSS & GAIN CALCULATIONS AND BALANCING REPORTS AS MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION.

ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, ONTARIO REG. 403/97 AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS OF THE MUNICIPALITY HAVING JURISDICTION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFORM WITH THESE SECTIONS OF THE CODE WHERE APPLICABLE AND BE FAMILIAR WITH PART 9 OF THE CODE.

### WOOD FRAME CONSTRUCTION

AS PER OBC SECTION 9.23

ALL STRUCTURAL LUMBER TO BE SPEC#2 CONSTRUCTION OR BETTER UNLESS NOTED OTHERWISE. LUMBER SIZES TO BE AS DETERMINED FROM SPAN TABLES OF THE BUILDING CODE.

SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS 7'-10" MAX ON SPACING WITH 4" MIN. EMBEDMENT INTO THE CONCRETE.

JOIST END BEARING TO BE 1 1/2 MIN.

BEAMS & GIRDERS SHALL HAVE 3 1/2" MIN END BEARING.

BEAMS & JOIST LOADS SHALL BE SUPPORTED FULL WIDTH TO FOUNDATION.

ALL NON LOAD BEARING PARTITIONS SHALL BE SUPPORTED BY DOUBLE FLOOR JOIST OR SOLID BLOCKING AT 3'11" O.C.

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PROTECTED FROM MOISTURE.

### EXTERIOR DOORS & WINDOWS

AS PER OBC SECTION 9.7

DOORS TO DWELLING SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEYS.

ALL EXTERIOR DOORS IF WOOD SHALL CONFORM TO CAN/CSA-A132.2-M, STEEL INSULATED CONFORM TO CAN/CSB-82.5-M.

WINDOW GLASS SIZE TO COMPLY WITH CURRENT OBC REQUIREMENTS.

ALL DOORS & WINDOWS SHALL COMPLY WITH OBC SECTION 9.7.6- RESISTANCE TO FORCED ENTRY.

EVERY FLOOR LEVEL CONTAINING A BEDROOM SHALL HAVE AT LEAST 1 OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INSIDE WITHOUT THE USE OF TOOLS. THESE WINDOWS MUST HAVE AN UNOBSTRUCTED OPEN AREA OF 3.8 SQ. FT. WITH NO DIMENSION LESS THAN 15"

### VENTILATION

AS PER OBC SECTION 9.32.3.4

PROVIDE VENTILATION FOR ROOF SPACES AT A RATIO OF 1 SQ. FT. MIN OF UNOBSTRUCTED VENTILATION FOR EACH 300 SQ. FT. OF INSULATED CEILING AREA WITH NOT MORE THAN HALF THE REQUIRED VENTILATION LOCATED AT THE EAVES.

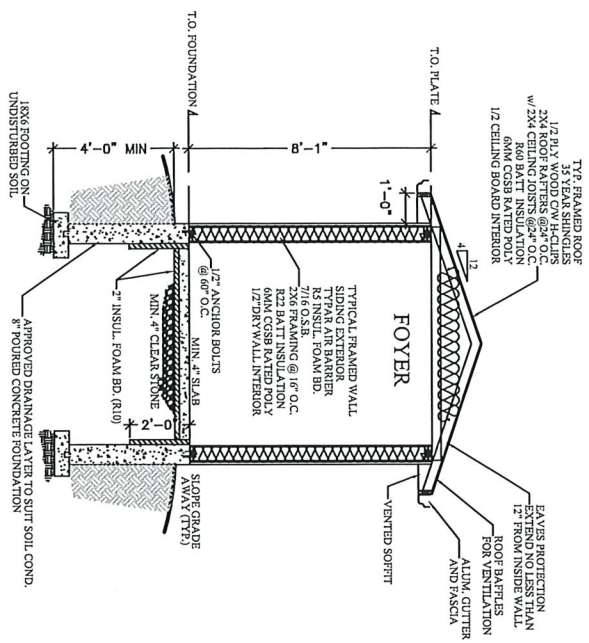
PROVIDE BARRIERS AT THE EAVES TO PERMIT FREE UNOBSTRUCTED AIR FLOW.

PROVIDE MECHANICAL VENTILATION SYSTEM TO THE REQUIREMENTS OF OBC 9.32.2 WITH CLEARLY LABELED PRINCIPAL EXHAUST FAN MANUAL SWITCH.

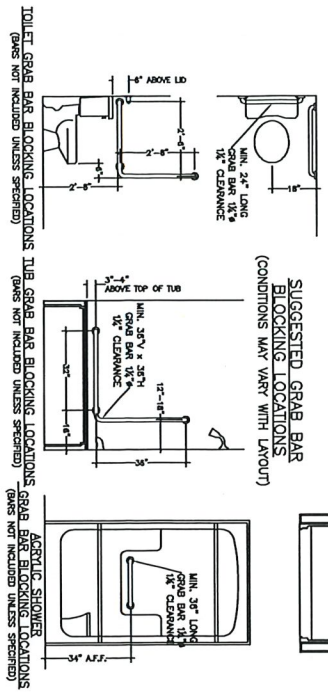
### ELECTRICAL

ALL LIGHTING AND ELECTRICAL TO COMPLY WITH OBC 9.34

ALL FLOOR LEVELS SHALL BE EQUIPPED WITH INTERCONNECTED SMOKE DETECTORS (TYPICAL ALL UNITS)



**TYP SECTION**  
Scale 1/4"=1'-0"



GENERAL NOTES:																											
<p>1. All work shall conform with the Ontario Building Code and all applicable municipal by-laws.</p> <p>2. The contractor shall be responsible for obtaining all necessary permits.</p> <p>3. All materials and workmanship shall be subject to inspection and approval by the designer.</p> <p>4. The contractor shall maintain access to all existing utilities.</p> <p>5. The contractor shall be responsible for the protection of all existing structures.</p> <p>6. The contractor shall be responsible for the disposal of all waste materials.</p> <p>7. The contractor shall be responsible for the safety of all workers and the public.</p> <p>8. The contractor shall be responsible for the completion of all work within the specified time frame.</p> <p>9. The contractor shall be responsible for the payment of all taxes and fees.</p> <p>10. The contractor shall be responsible for the maintenance of all records.</p>																											
<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>SQUARE FOOTAGE</th> </tr> <tr> <td>1</td> <td>10/20</td> <td>PLAN EXAMINATION COMMENTS</td> <td></td> </tr> <tr> <td>2</td> <td>10/21</td> <td>CLIENT REVISIONS</td> <td></td> </tr> <tr> <td>3</td> <td>10/22</td> <td>CLIENT REVISIONS</td> <td></td> </tr> <tr> <td>4</td> <td>10/23</td> <td>PERMIT REVISION</td> <td></td> </tr> </table>	NO.	DATE	DESCRIPTION	SQUARE FOOTAGE	1	10/20	PLAN EXAMINATION COMMENTS		2	10/21	CLIENT REVISIONS		3	10/22	CLIENT REVISIONS		4	10/23	PERMIT REVISION		<table border="1"> <tr> <td>DESIGNER: TONY WALL</td> <td>SCALE: SEE DRAWING</td> </tr> <tr> <td>DATE: JANUARY 2023</td> <td></td> </tr> <tr> <td>SHEET NO: 8 OF 9</td> <td><b>A8</b></td> </tr> </table>	DESIGNER: TONY WALL	SCALE: SEE DRAWING	DATE: JANUARY 2023		SHEET NO: 8 OF 9	<b>A8</b>
NO.	DATE	DESCRIPTION	SQUARE FOOTAGE																								
1	10/20	PLAN EXAMINATION COMMENTS																									
2	10/21	CLIENT REVISIONS																									
3	10/22	CLIENT REVISIONS																									
4	10/23	PERMIT REVISION																									
DESIGNER: TONY WALL	SCALE: SEE DRAWING																										
DATE: JANUARY 2023																											
SHEET NO: 8 OF 9	<b>A8</b>																										
<p>*PROPERTY OF VIEW-IT DESIGN*</p> <p>VIEW-IT DESIGN RR# 1 FORT BURWELL 9200 SHEPPARD AVE. E. SCARBOROUGH, ONT. M1B 4Y7</p> <p>HARFOUSH RES 46117 NEW SARALAM LANE CENTRAL ELDON, ONT</p> <p>PROPOSED ADJUNCT BUILDING RENOV</p>																											

**Baigent Excavating**

**4403 Cromarty Dr.**

**Mossley, On**

20-Dec-24

To whom it may concern:

In regards to the septic systems located at 46117 New Sarum Line, New Sarum On.  
After inspecting both units it is, in my opinion, that they both meet sizing  
requirments required by the OBC.

Both systems are in good working order at this time.

**Sincerely**

A handwritten signature in black ink, appearing to read 'Mark Baigent', written in a cursive style.

**Mark Baigent**

**Baigent Excavating Inc.**

**519-808-2177**

**BCIN # 43259**